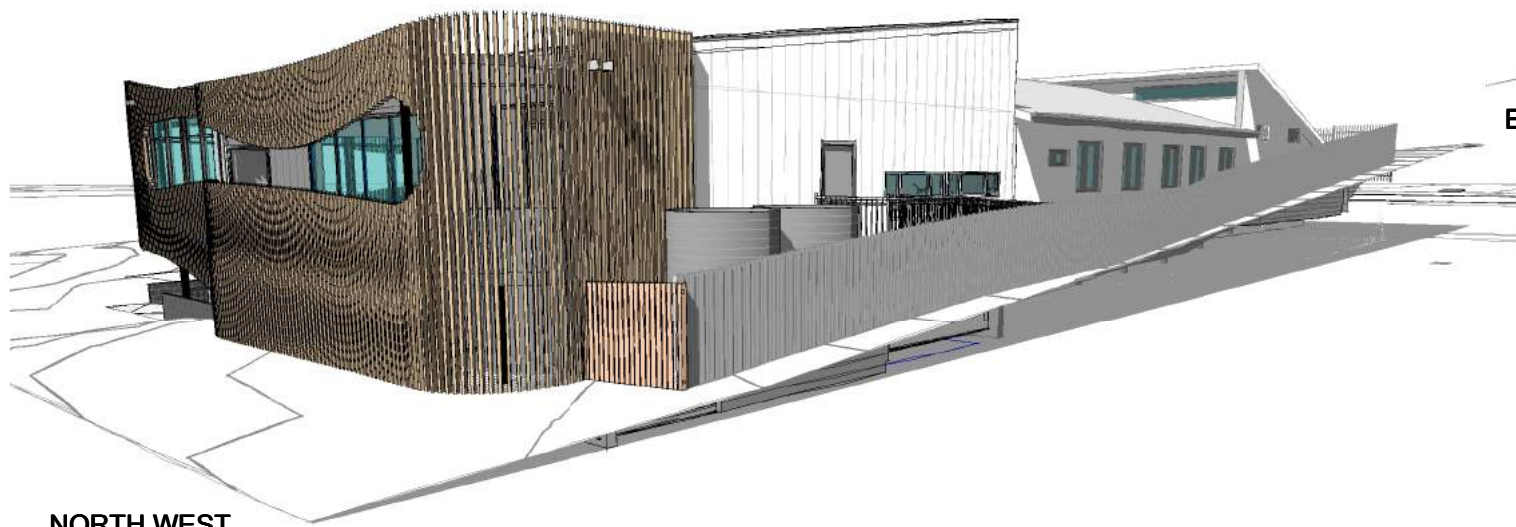


3D LOWER CARPARK



ENTRY



NORTH WEST

ARCHITECTURAL DRAWING LIST	
A000	COVER SHEET
A001	SITE LOCATION
A002	EXISTING SITE
A003	PROPOSED SITE PLAN
A100	EXISTING FLOOR PLAN
A101	EXISTING AND DEMOLITION FLOOR PLAN, RCP AND ROOF PLAN
A102	PROPOSED GROUND FLOOR FRAMING PLAN
A103	PROPOSED GROUND FLOOR PLAN - FINISHES
A104	PROPOSED LOWER FLOOR PLAN - FRAMING AND FINISHES
A105	ROOF PLAN
A106	REFLECTED CEILING PLANS
A200	ELEVATIONS
A300	SECTIONS
A301	SECTIONS
A302	SECTIONS - CLERESTORY WINDOWS
A303	SECTION RAMP
A304	EXTERNAL SCREEN
A400	INTERNAL ELEVATIONS
A401	INTERNAL ELEVATIONS
A500	CONSTRUCTION DETAILS
A600	DOOR SCHEDULE
A601	WINDOW SCHEDULE

PRELIM TENDER

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DRAWING TITLE  
COVER SHEET

PROJECT  
39 FENWICK STREET  
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BCH PORTARLINGTON REDEVELOPMENT 2

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**A000**

REVISION

NORTH





1 PLAN 1:500  
A001 EXISTING LOCATION PLAN

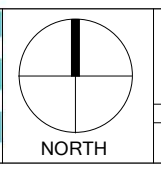
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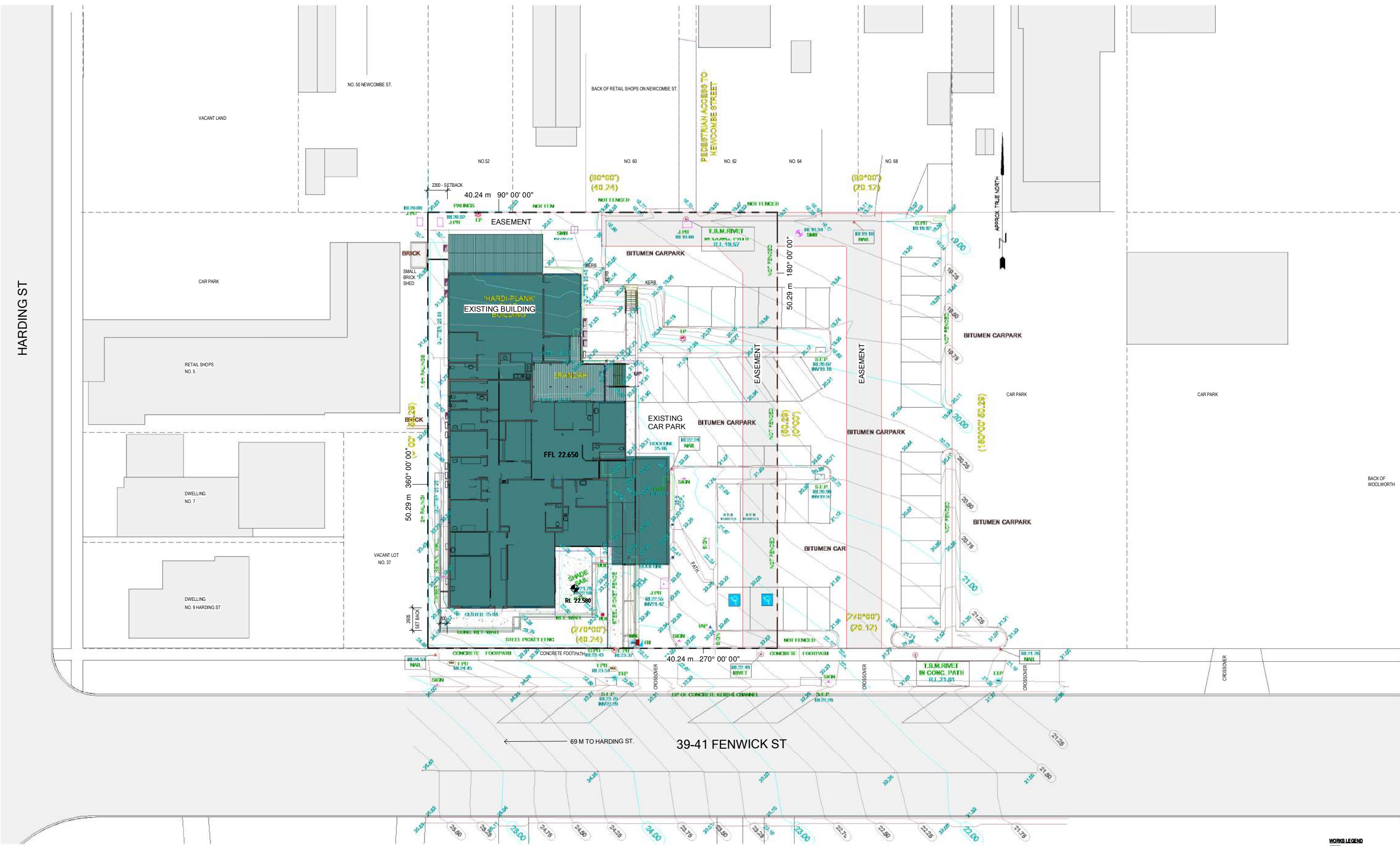
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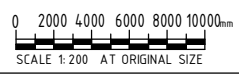
1 PLAN 1 : 200  
A002 EXISTING SITE

- WORKS LEGEND**
- NEW WORKS
  - EASEMENT BOUNDARY - REFER TO SURVEY
  - PEDESTRIAN ACCESS

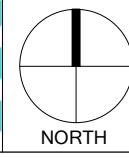
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EXISTING SITE

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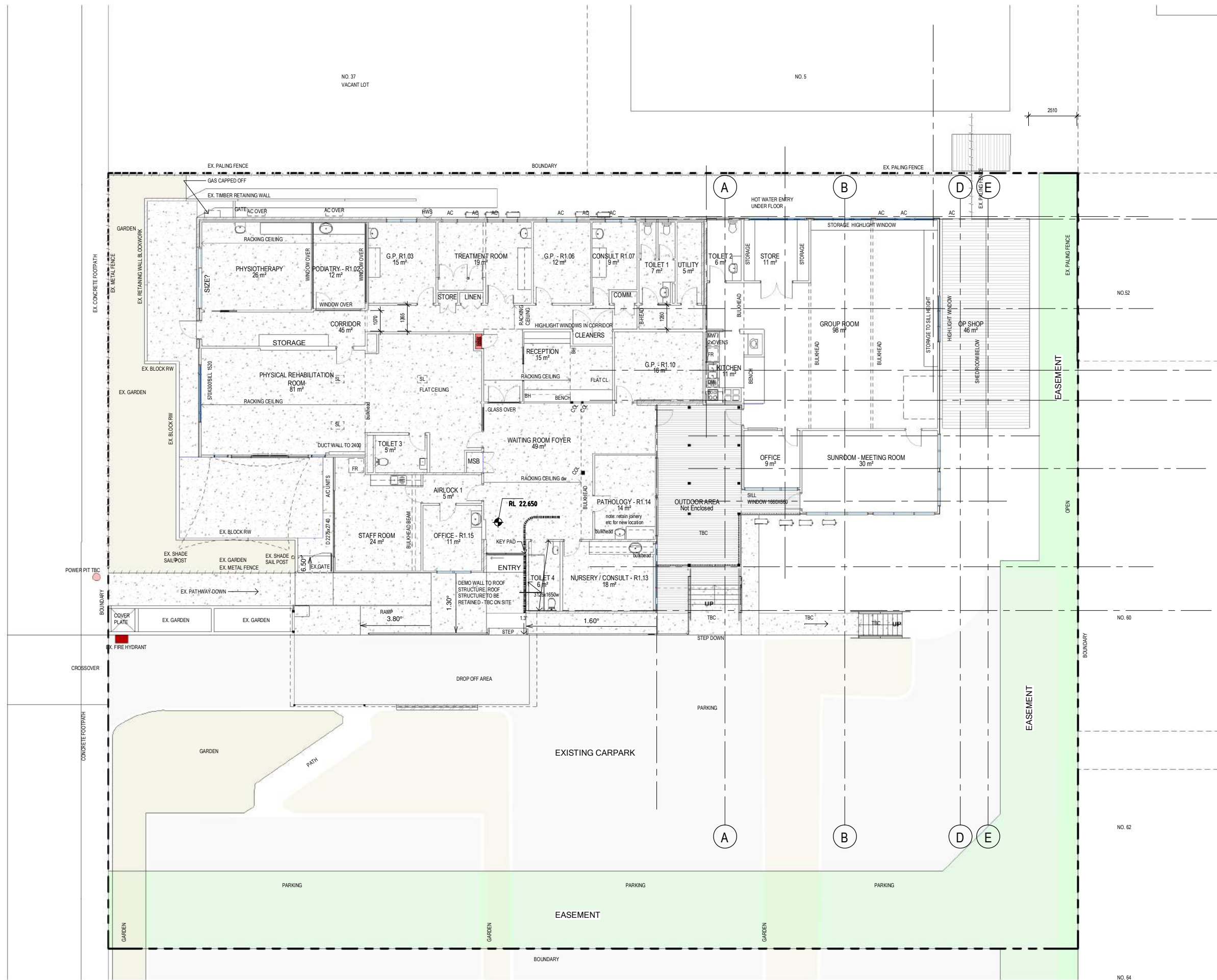
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**A002**  
REVISION





FENWICK STREET

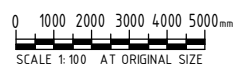


1 PLAN 1:100  
A100 EXISTING FLOOR PLAN

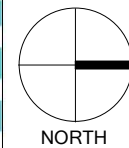
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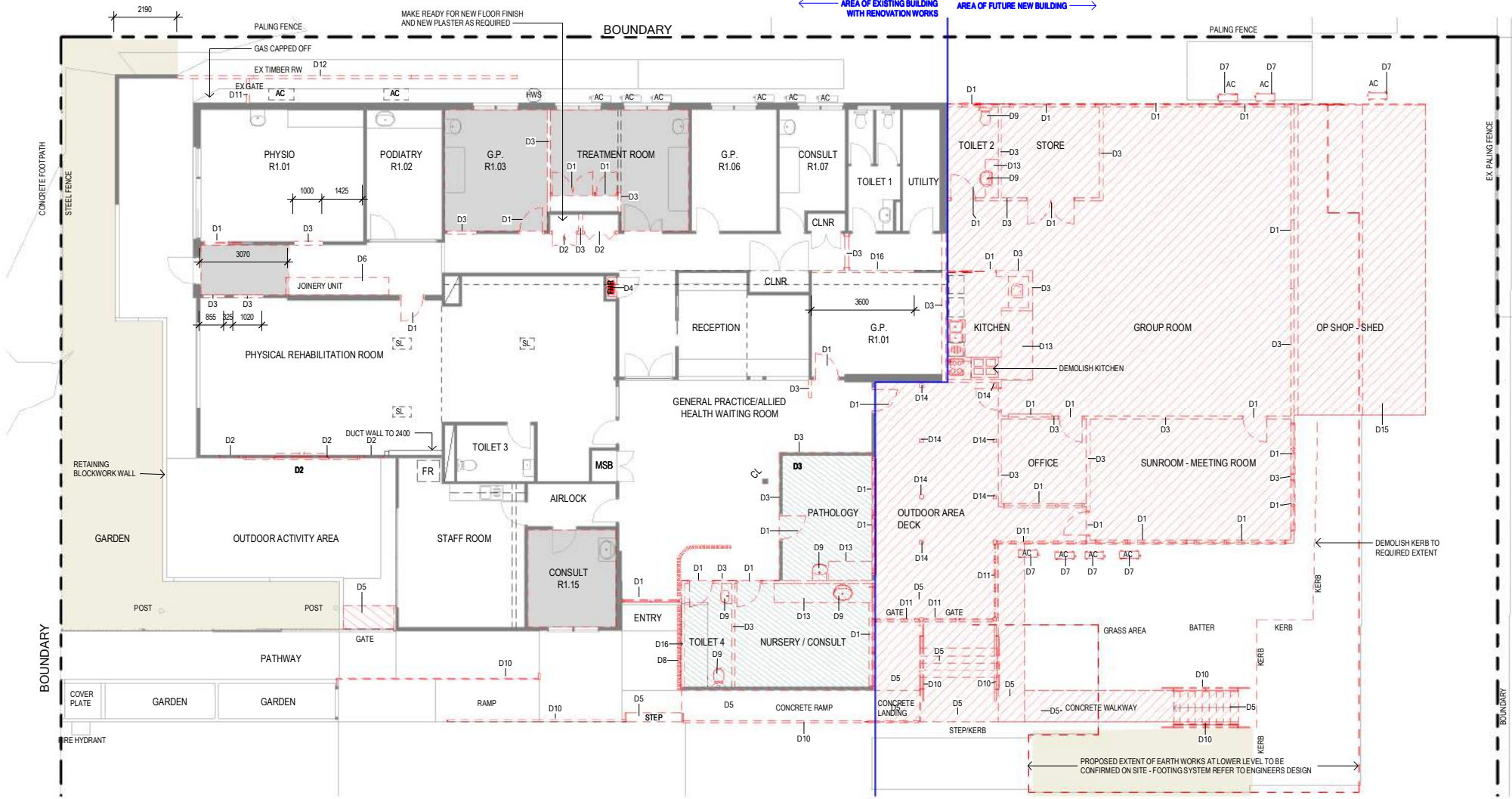


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EXISTING FLOOR PLAN  
  
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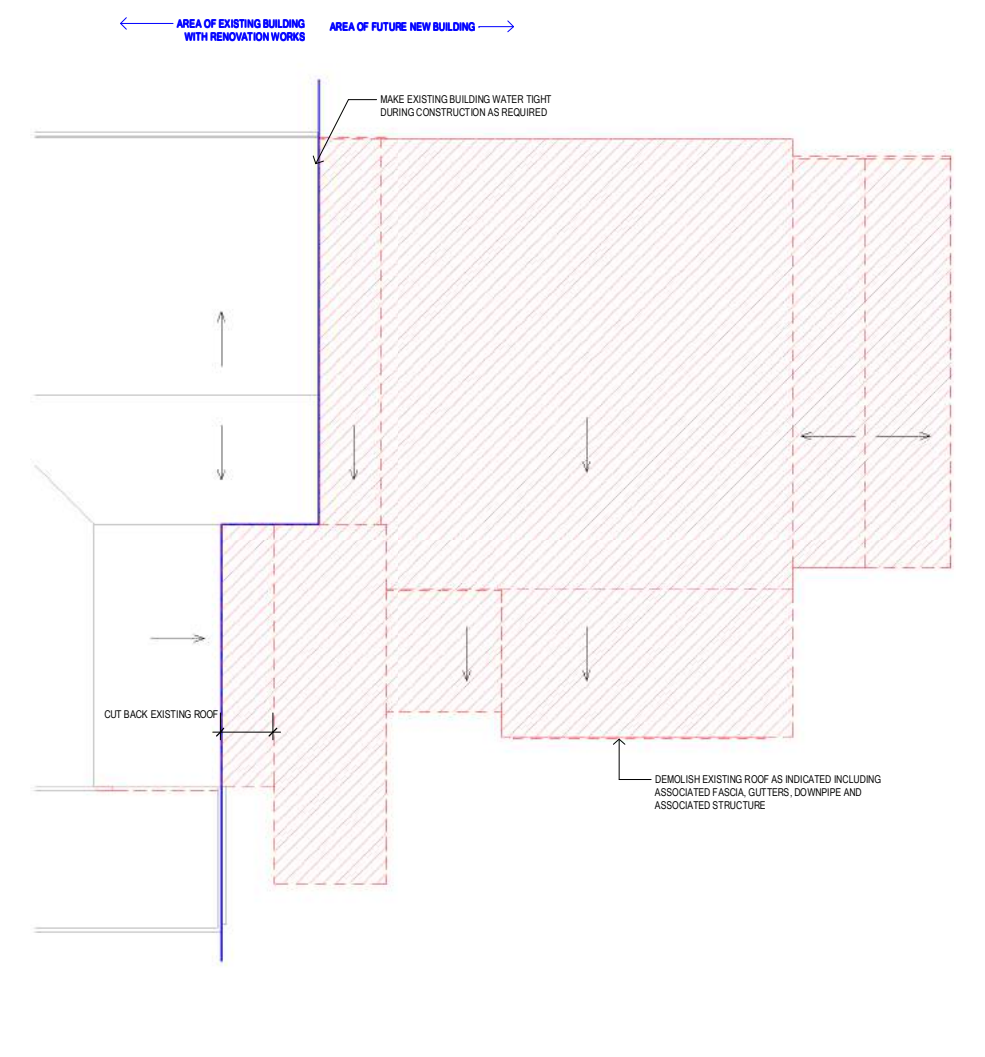
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JOB NO:	G20002	SCALE:	1:100 @ A1
REVISION			





1 PLAN 1:100  
A101 EXISTING AND DEMOLITION FLOOR PLAN



2 PLAN 1:100  
A101 EXISTING AND DEMOLITION ROOF PLAN

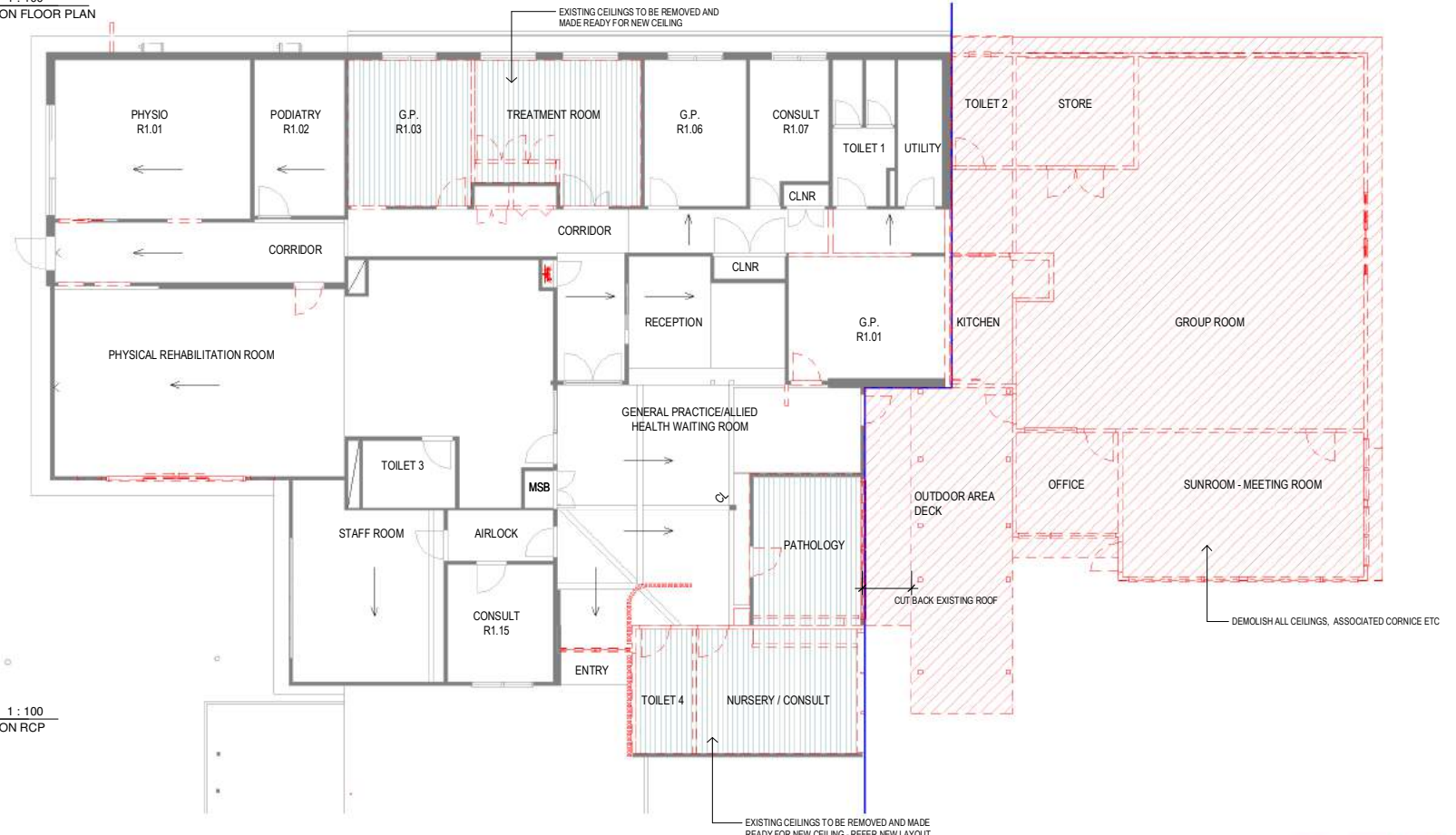
**LEGEND**

	DEMOLITION AREA
	TO BE DEMOLISHED
	EXISTING
	EXISTING FLOOR TO BE RETAINED, ALLOW FOR NEW SERVICES AND MAKE READY FOR NEW FLOOR FINISH
	REMOVE EXISTING FLOOR FINISH
	REMOVE EXISTING CEILING

D1	BREAK OUT & DEMOLISH EXISTING DOOR, WINDOW, ASSOCIATED ARCHTRAVES AND FRAMING - INFILL WALLS TO MATCH ADJACENT WALL AS REQUIRED REFER NEW LAYOUT
D2	REMOVE EXISTING DOOR / WINDOW AND INSTALL NEW DOOR / WINDOW, REFER DOOR AND WINDOW SCHEDULE
D3	DEMOLISH EXISTING WALL TO ALLOW FOR NEW OPENING / DOOR / WINDOW / RE-DESIGN AS REQUIRED
D4	REMOVE FIRE HOSE REEL CAP OFF SERVICES AND REDIRECT TO NEW FHR LOCATIONS
D5	BREAKOUT & DEMOLISH EXISTING RAMP, DECKING, STEPS AND FOOTING SYSTEMS MAKE READY FOR NEW WORKS
D6	SAFELY REMOVED AND STORE EXISTING JOINERY UNIT AND RELOCATE AFTER COMPLETION OF WORKS REFER PROPOSED FLOOR PLAN FOR NEW POSITION
D7	SELECTED EXISTING AC UNITS TO BE RETAINED FOR REPURPOSING, REFER MECHANICAL AND ELECTRICAL - DEMO REMAINDER OF AC UNITS
D8	BREAKOUT AND DEMOLISH EXISTING SCREENING AND ASSOCIATED FIXINGS MAKE RIGHT FOR NEW
D9	BREAK OUT & DEMOLISH EXISTING PANS, BASINS, AND ASSOCIATED JOINERY - CAP OFF SERVICES READY FOR NEW WORKS
D10	BREAK OUT EXISTING HAND RAILS AND FIXINGS
D11	BREAK OUT & DEMOLISH INCLUDING GATE, FENCE AND FITTING IN WALL AND FLOOR, INCLUDING POST STRUCTURE AND FOOTINGS
D12	BREAK OUT & DEMOLISH EXISTING RETAIN WALL AND ASSOCIATED FOOTING MAKE READY FOR NEW
D13	BREAK OUT EXISTING JOINERY, BULKHEAD CUPBOARDS MAKE READY FOR NEW
D14	BREAK OUT & DEMOLISH EXISTING PERGOLA AND ASSOCIATED FRAMING & FOOTINGS SYSTEM
D15	BREAK OUT EXISTING OP SHOP GARAGE, DOORS ETC AND ASSOCIATED FOOTINGS/SLAB SYSTEMS, CAP OFF AND MAKE REDUNDANT SERVICES

NOTE:  
CAP OFF AND MAKE REDUNDANT ALL ELECTRICAL FITTINGS AND FIXTURE READY FOR DEMOLITION



3 PLAN 1:100  
A101 EXISTING AND DEMOLITION RCP

**PRELIM TENDER**

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DRAWING TITLE  
EXISTING AND DEMOLITION FLOOR PLAN,  
RCP AND ROOF PLAN

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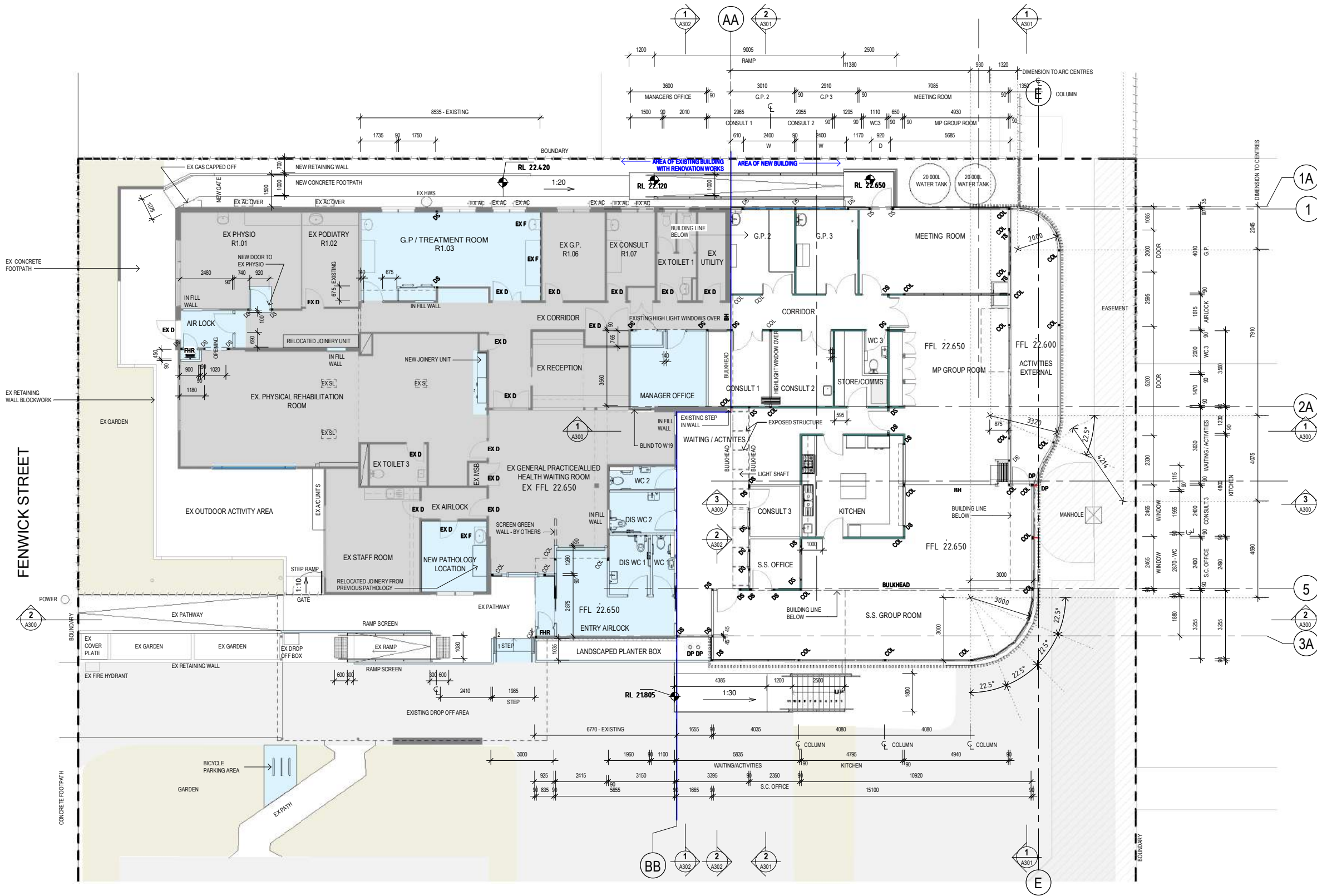
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**A101**

REVISION





- FRAMING PLAN LEGEND**
- SEPARATION LINE BETWEEN EXISTING BUILDING AREA TO BE RETAINED AND NEW BUILDING AREA
  - EXISTING FENCE
  - BULKHEAD
  - EXISTING DOOR
  - FIRE HOSE REEL
  - COLUMN, REFER STRUCTURAL
  - DOWNPIPE
  - EXISTING
  - MAIN SWITCH BOARD
  - EXISTING SKYLIGHT
  - EXISTING FITTING / FIXTURE
  - EXISTING AIR CONDITIONING UNIT
  - EXISTING HOT WATER SERVICE
  - PROP. REFER STRUCTURAL
  - DOUBLE STUD, REFER STRUCTURAL
- NOTE**
1. GRIDS AA, BB, 1A, 2A AND 3A IN GROUND FLOOR LEVEL ALIGN TO FACE OF EXISTING WALLS. ALL OTHER GRIDS ARE DIMENSIONED TO THESE.
  2. INSTALLATION OF NEW WALL LININGS TO BE FLUSH TO EXISTING LININGS.
  3. COLUMNS IN WALLS TO BE CENTRED TO TIMBER FRAMING.
  4. FREE STANDING COLUMNS DIMENSIONED TO CENTRES.
  5. ALL INFILL WALLS TO MATCH ADJACENT EXISTING WALLS.

- WORKS LEGEND**
- AREA OF EXISTING BUILDING WITH NO WORKS
  - AREA OF EXISTING BUILDING WITH RENOVATION WORKS
  - EASEMENT / CLEARANCE AREA
  - WALLS EXTENDING TO UNDERSIDE OF ROOFING
  - NEW CONCRETE

1 PLAN 1:100  
A102 PROPOSED GROUND FLOOR FRAMING PLAN

PRELIM TENDER

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DRAWING TITLE  
 PROPOSED GROUND FLOOR FRAMING PLAN

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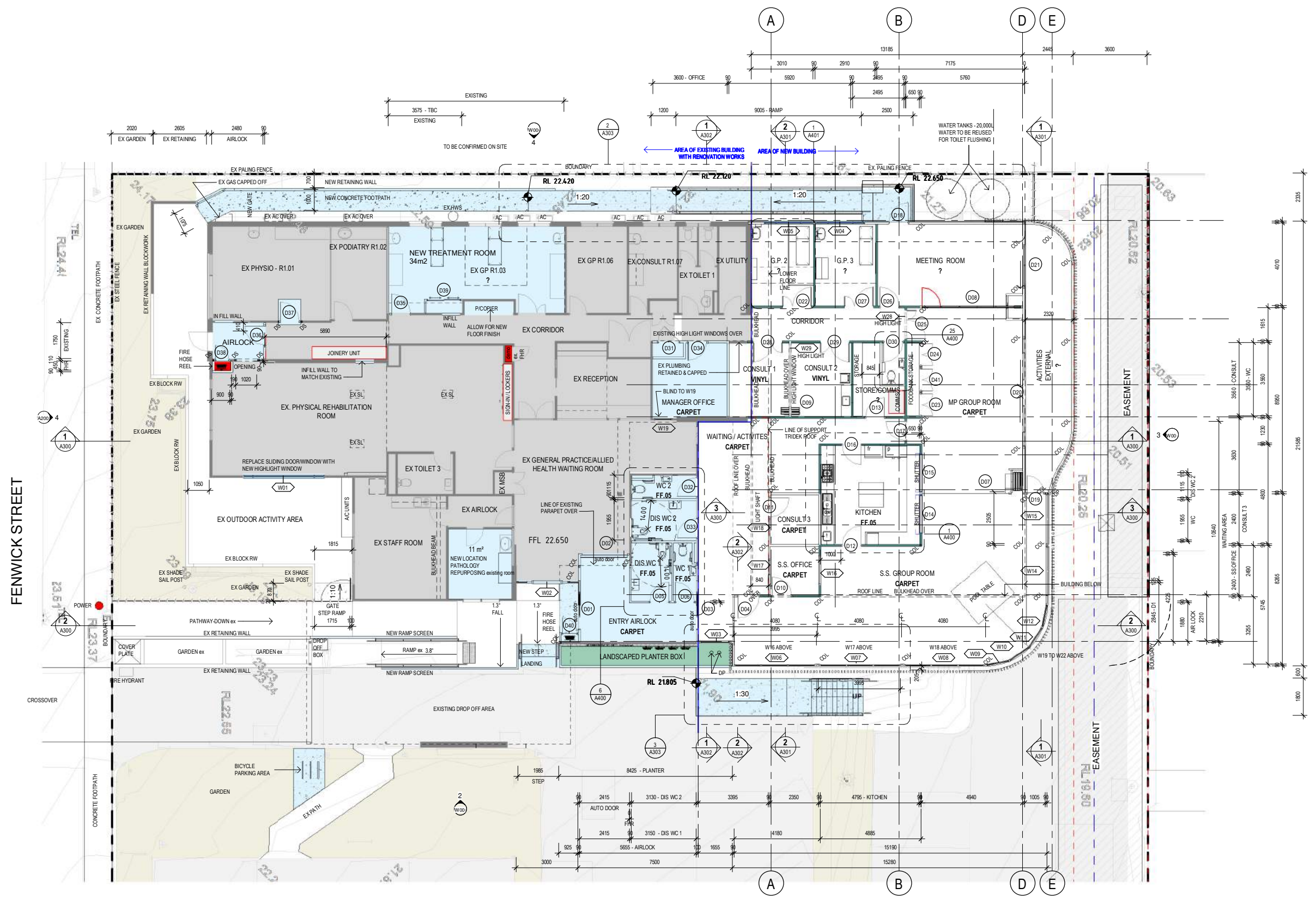
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 CHECKED: Checker  
 JOB NO: G20002  
 SCALE: 1:100 @A1

DRAWING NO:  
**A102**

REVISION



**FRAMING PLAN LEGEND**

- SEPARATION LINE BETWEEN EXISTING BUILDING AREA TO BE RETAINED AND NEW BUILDING AREA
- EXISTING FENCE
- BH** BULKHEAD
- EX D** EXISTING DOOR
- FHR** FIRE HOSE REEL
- COL** COLUMN, REFER STRUCTURAL
- DP** DOWNPIPE
- EX** EXISTING
- MSB** MAIN SWITCH BOARD
- EX SL** EXISTING SKYLIGHT
- EX F** EXISTING FITTING / FIXTURE
- EX AC** EXISTING AIR CONDITIONING UNIT
- EX HWS** EXISTING HOT WATER SERVICE
- PR** PROP. REFER STRUCTURAL
- EX HWS** DOUBLE STUD, REFER STRUCTURAL

- NOTE**
- GRIDS AA, BB, 1A, 2A AND 3A IN GROUND FLOOR LEVEL ALIGN TO FACE OF EXISTING WALLS. ALL OTHER GRIDS ARE DIMENSIONED TO THESE.
  - INSTALLATION OF NEW WALL LININGS TO BE FLUSH TO EXISTING LININGS.
  - COLUMNS IN WALLS TO BE CENTRED TO TIMBER FRAMING.
  - FREE STANDING COLUMNS DIMENSIONED TO CENTRES.
  - ALL INFILL WALLS TO MATCH ADJACENT EXISTING WALLS.

**WORKS LEGEND**

- AREA OF EXISTING BUILDING WITH NO WORKS
- AREA OF EXISTING BUILDING WITH RENOVATION WORKS
- EASEMENT / CLEARANCE AREA
- WALLS EXTENDING TO UNDERSIDE OF ROOFING
- NEW CONCRETE

**FLOOR FINISHES LEGEND**

- FF.01 - CMA172 DUCK EGG CARPET TILE TO COMMUNAL MEETING SPACES
- FF.02 - CMA157 SEA BLUE CARPET TILE TO COMMUNAL MEETING SPACES
- FF.03 - CMA123 OUTER REEF CARPET TILE TO CHANGE ROOMS IN RETAIL SPACE
- FF.04 - CMA161 TEAL CARPET TILE TO CHANGE ROOMS IN RETAIL SPACE
- FF.05 - 7732 GRAVEL VINYL SHEET FLOORING TO KITCHEN AND OTHER WET AREAS
- FF.06 - 8704 PEBBLE VINYL SHEET FLOORING TO CONSULTING ROOMS
- FF.07 - 0535 DOUGLAS VINYL TILES - RETAIL SPACE
- FF.08 - CHARCOAL FOYER ENTRY MATS
- FF.09 TACTILE INDICATORS

REFER TO MATERIALS & FINISHES SCHEDULE

1 PLAN 1:100  
A103 PROPOSED GROUND FLOOR PLAN-FINISHES

**PRELIM TENDER**

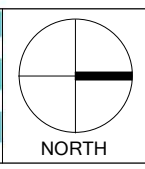
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PROPOSED GROUND FLOOR PLAN - FINISHES

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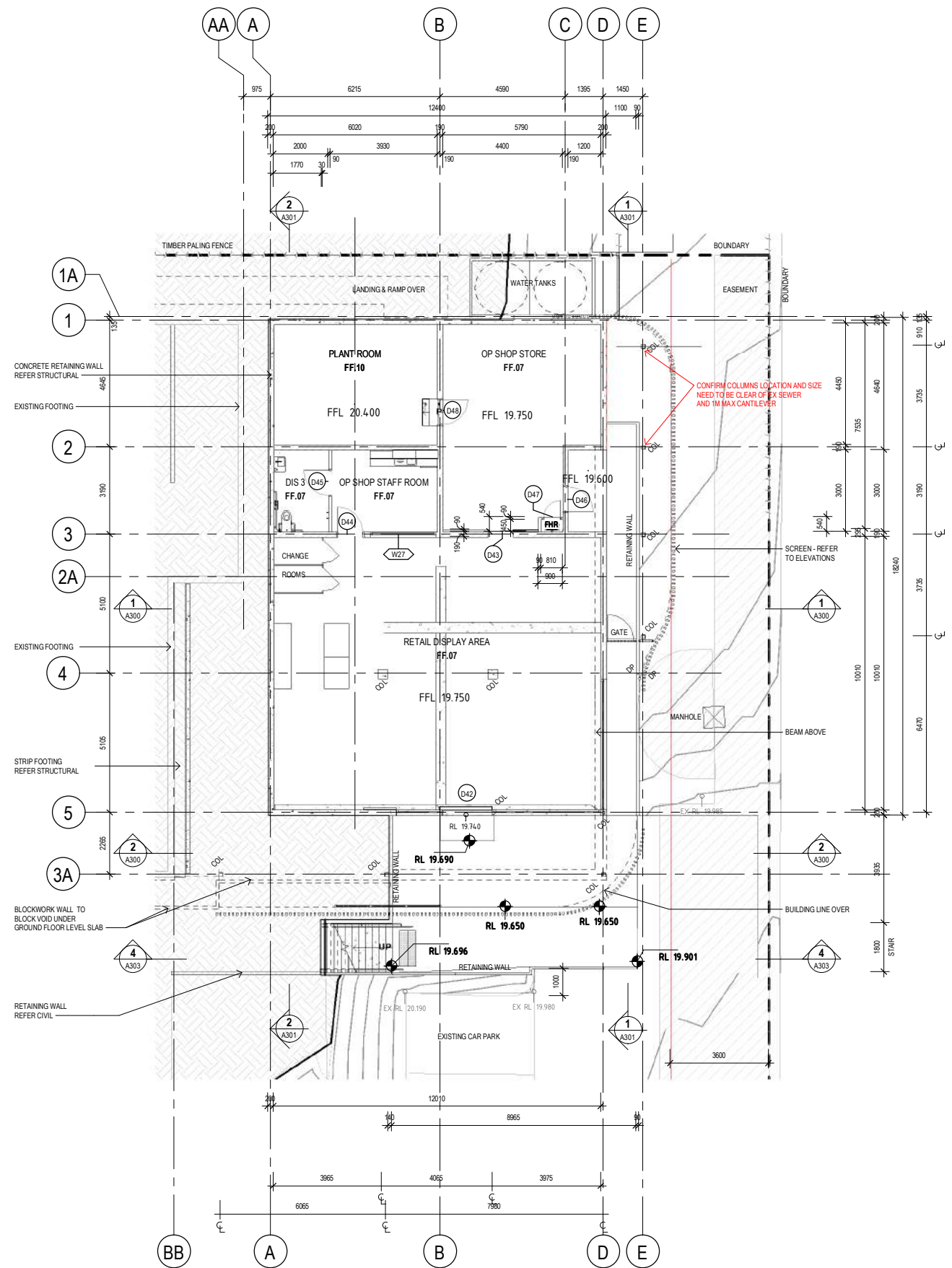
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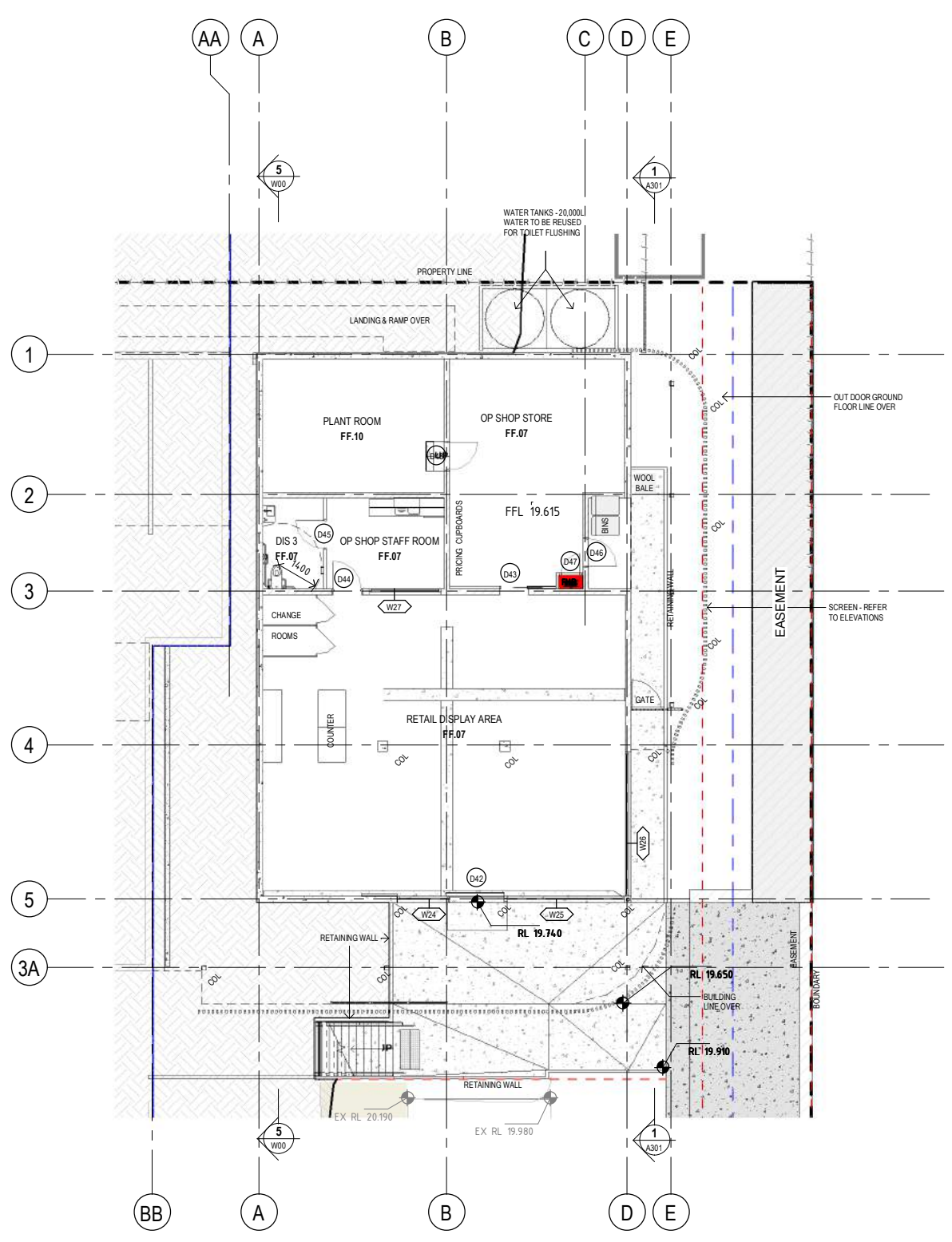
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**A103**

REVISION





1 PLAN 1:100  
A104 PROPOSED LOWER FLOOR FRAMING PLAN



2 PLAN 1:100  
A104 PROPOSED LOWER FLOOR FRAMING PLAN-FINISHES

**FRAMING PLAN LEGEND**

- SEPARATION LINE BETWEEN EXISTING BUILDING AREA TO BE RETAINED AND NEW BUILDING AREA
  - EXISTING FENCE
  - BH** BULKHEAD
  - EX D** EXISTING DOOR
  - PHR** FIRE HOSE REEL
  - COL** COLUMN, REFER STRUCTURAL
  - DP** DOWNPIPE
  - EX** EXISTING
  - MSB** MAIN SWITCH BOARD
  - EX SL** EXISTING SKYLIGHT
  - EX F** EXISTING FITTING / FIXTURE
  - EX AC** EXISTING AIR CONDITIONING UNIT
  - EX HWS** EXISTING HOT WATER SERVICE
  - PR** PROP. REFER STRUCTURAL
  - EX HWS** DOUBLE STUD, REFER STRUCTURAL
- NOTE**
1. GRIDS AA, BB, 1A, 2A AND 3A IN GROUND FLOOR LEVEL ALIGN TO FACE OF EXISTING WALLS. ALL OTHER GRIDS ARE DIMENSIONED TO THESE.
  2. INSTALLATION OF NEW WALL LININGS TO BE FLUSH TO EXISTING LININGS.
  3. COLUMNS IN WALLS TO BE CENTRED TO TIMBER FRAMING.
  4. FREE STANDING COLUMNS DIMENSIONED TO CENTRES.
  5. ALL INFILL WALLS TO MATCH ADJACENT EXISTING WALLS.

**WORKS LEGEND**

- AREA OF EXISTING BUILDING WITH NO WORKS
- AREA OF EXISTING BUILDING WITH RENOVATION WORKS
- EASEMENT / CLEARANCE AREA
- WALLS EXTENDING TO UNDERSIDE OF ROOFING
- NEW CONCRETE

**FLOOR FINISHES LEGEND**

- |                           |   |
|---------------------------|---|
| FF.01 - CMA172 DUCK EGG   | CARPET TILE TO COMMUNAL MEETING SPACES              |
| FF.02 - CMA157 SEA BLUE   | CARPET TILE TO COMMUNAL MEETING SPACES              |
| FF.03 - CMA123 OUTER REEF | CARPET TILE TO CHANGE ROOMS IN RETAIL SPACE         |
| FF.04 - CMA161 TEAL       | CARPET TILE TO CHANGE ROOMS IN RETAIL SPACE         |
| FF.05 - 7732 GRAVEL       | VINYL SHEET FLOORING TO KITCHEN AND OTHER WET AREAS |
| FF.06 - 8704 PEBBLE       | VINYL SHEET FLOORING TO CONSULTING ROOMS            |
| FF.07 - 0535 DOUGLAS      | VINYL TILES - RETAIL SPACE                          |
| FF.08 - CHARCOAL          | FOYER ENTRY MATS                                    |
| FF.09                     | TACTILE INDICATORS                                  |

REFER TO MATERIALS & FINISHES SCHEDULE

**PRELIM TENDER**

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DRAWING TITLE  
PROPOSED LOWER FLOOR PLAN - FRAMING AND FINISHES

PROJECT  
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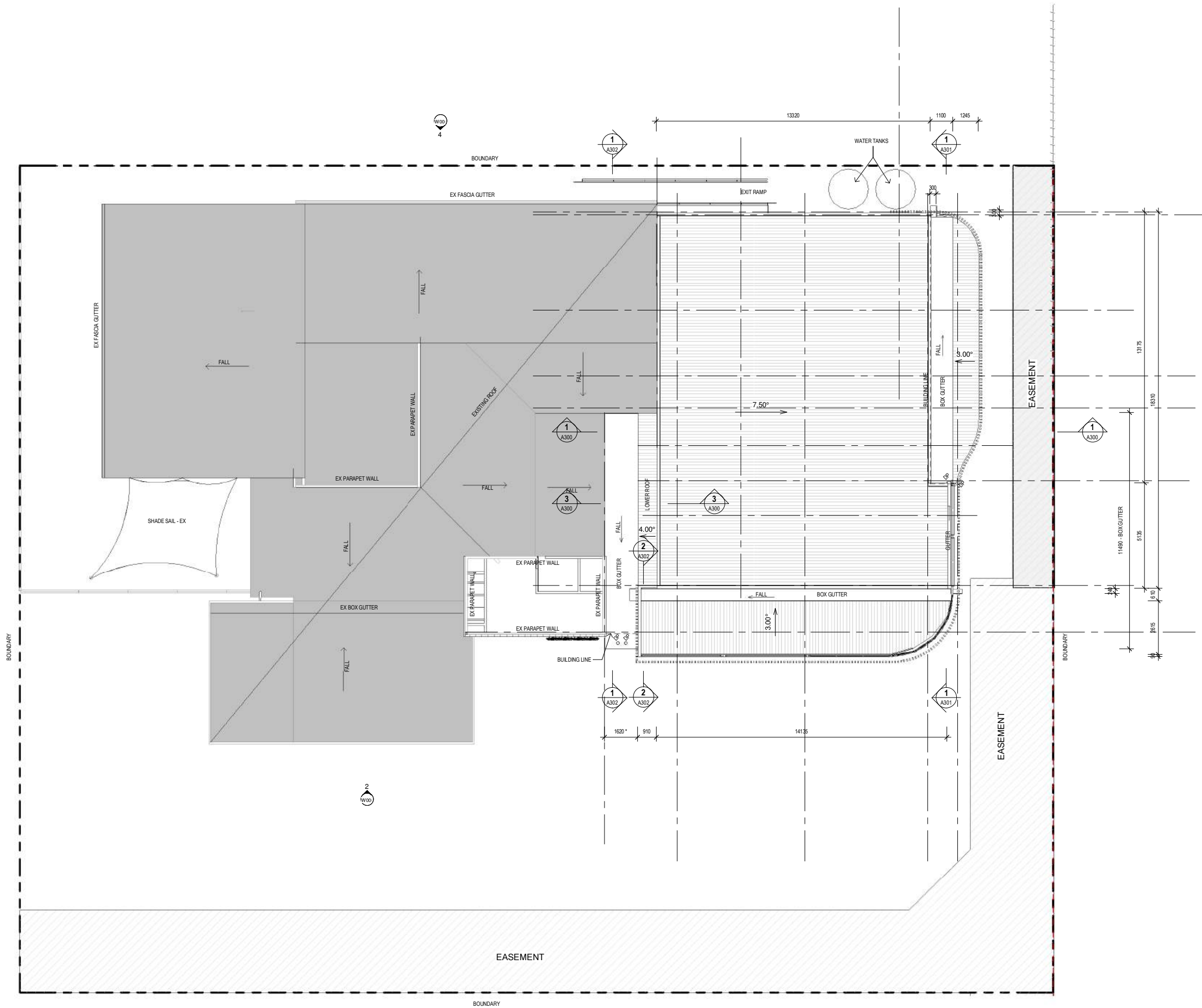
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North arrow symbol

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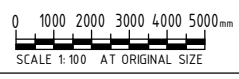


1 PLAN  
A105 ROOF 1:100

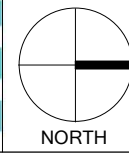
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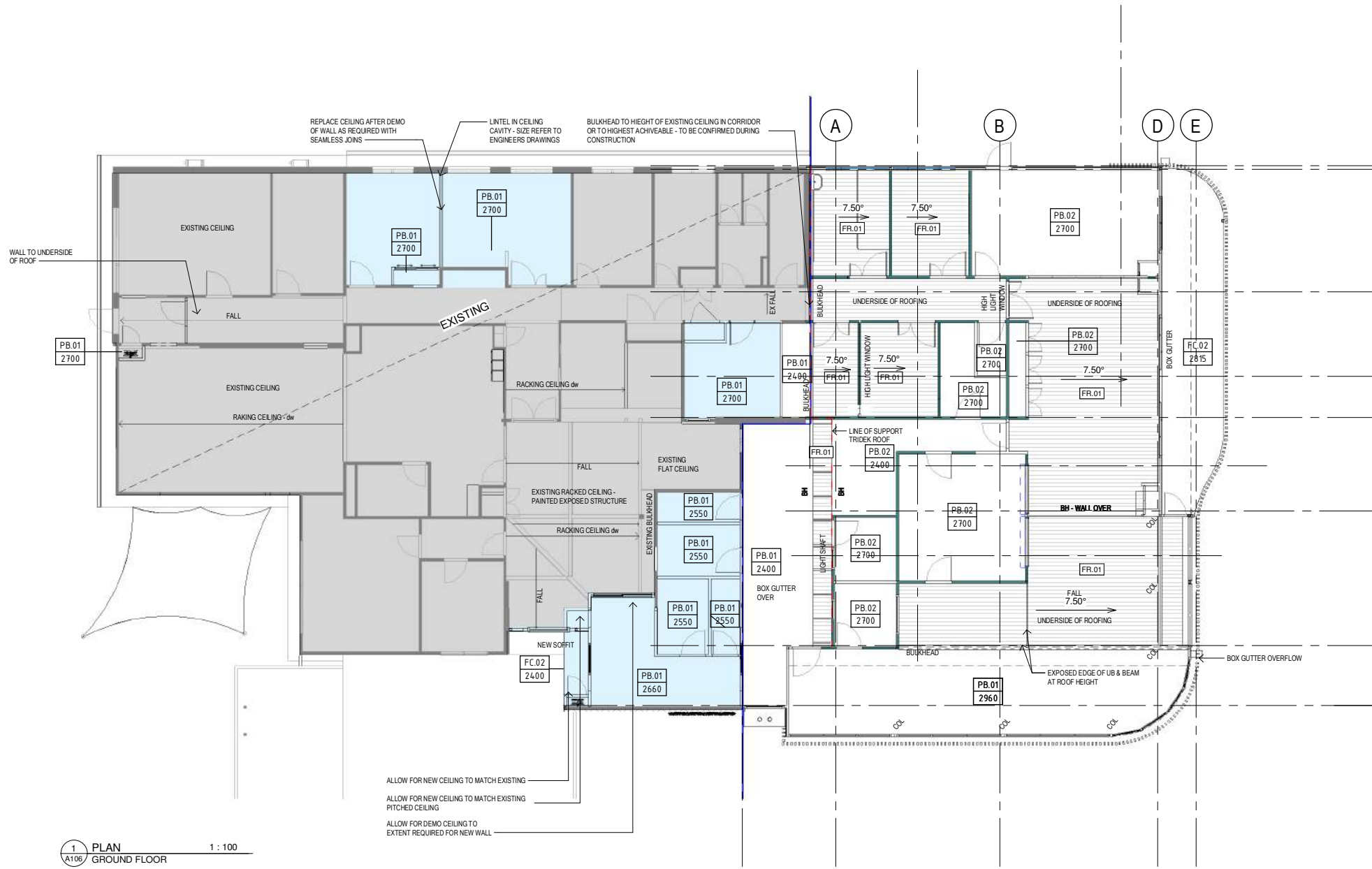
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ROOF PLAN  
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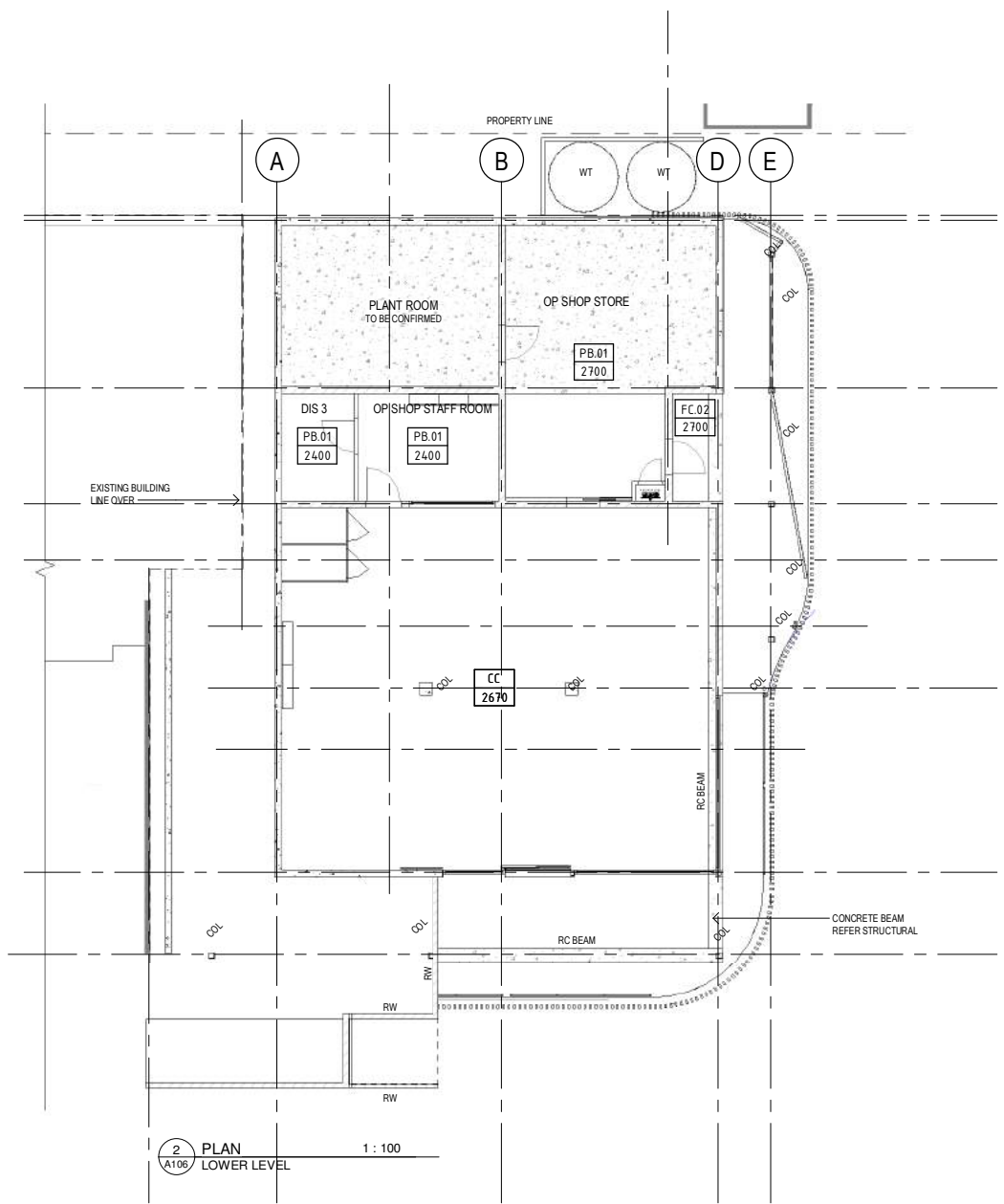
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DRAWING NO:  
A105  
REVISION





1 PLAN  
A106 GROUND FLOOR 1 : 100



2 PLAN  
A106 LOWER LEVEL 1 : 100

- LEGEND**
- PB.01 PLASTER CEILING
  - PB.02 SUSPENDED PLASTER CEILING
  - FC.01 EXTERNAL CEILING
  - FC.02 EXTERNAL CEILING
  - UNDERSIDE OF ROOF SYSTEM
  - WALLS EXTENDING TO UNDERSIDE OF ROOFING

**PRELIM TENDER**

ISSUE	DESCRIPTION	DATE

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REFLECTED CEILING PLANS

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**A106**

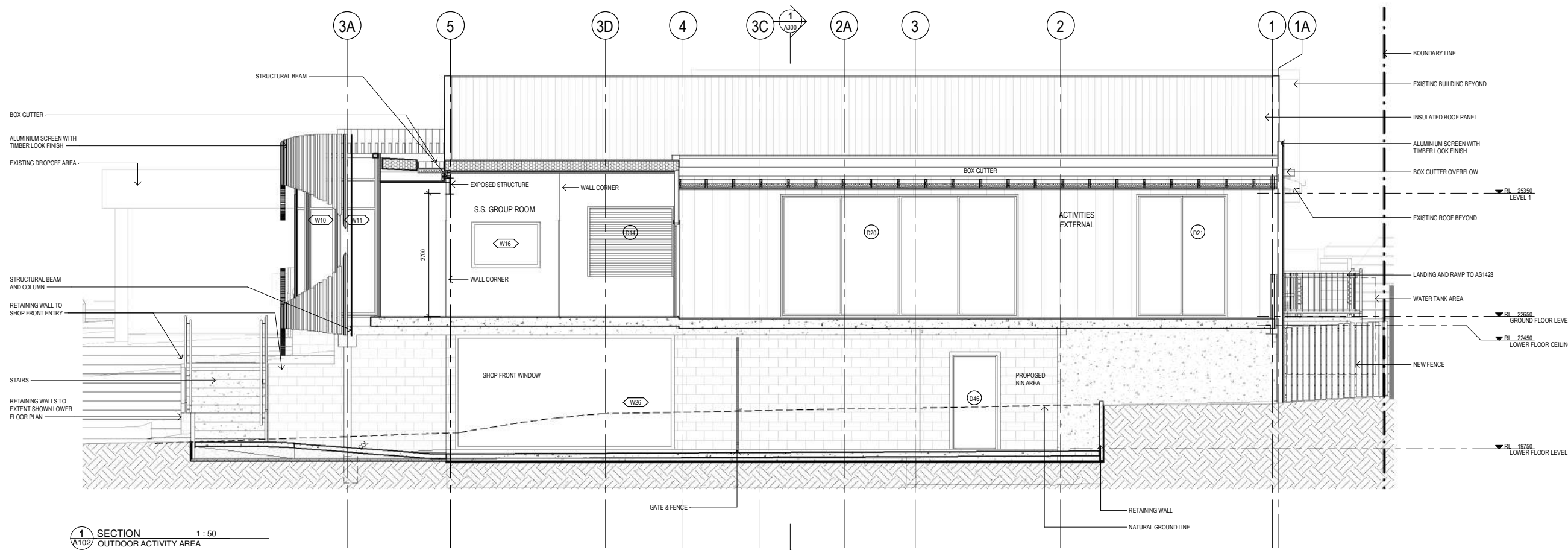
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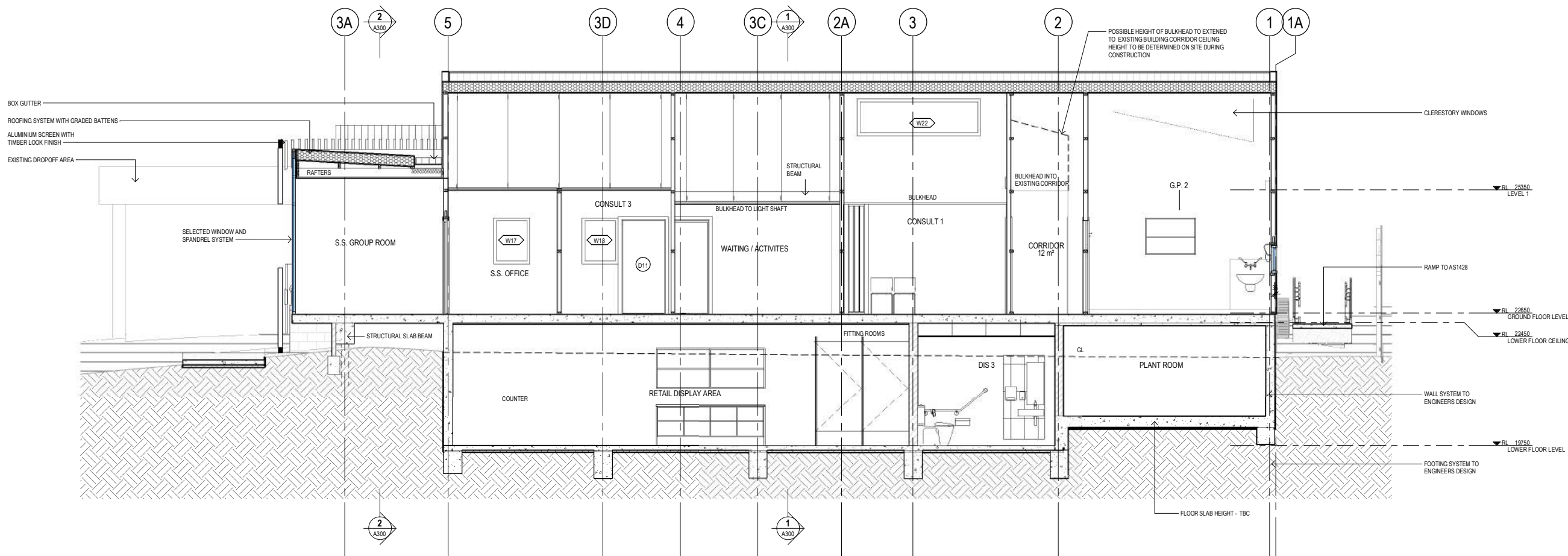








1 SECTION  
A102 OUTDOOR ACTIVITY AREA  
1 : 50



2 SECTION  
A102 EAST WEST  
1 : 50

- MATERIAL LEGEND**
- FR.01 INSULATED ROOF PANEL OR SIMILAR - COLORBOND MONUMENT
  - FR.02 ROOF SHEETING TRIMDEK OR SIMILAR - COLORBOND MONUMENT
  - FM.01 EXPOSED STEEL PAINTED
  - FM.02 ALUMINIUM SCREEN WITH TIMBER LOCK - COVET EVER ART WOOD OR SIMILAR
  - FF.01 ALUMINIUM WINDOWS
  - FW.01 WALL CLADDING - VERTICAL EXPRESSED JOINT OR SIMILAR
  - FW.02 WALL CLADDING - VERTICAL TIMBER LOOK OR SIMILAR
  - GL.01 GLAZING WINDOW SYSTEM
  - CF.01 CONCRETE WALKWAYS AND RAMPS
  - FB.01 RETAINING WALL - CONCRETE BLOCKS
  - FT.01 TIMBER DECK OR SIMILAR
  - FT.02 RETAINING WALL - TIMBER & SIMILAR

- LEGEND**
- EXCAVATE REQUIRED TO ACHIEVE REQUIRED BASE LEVELS

# PRELIM TENDER

ISSUE	DESCRIPTION	DATE

FILE: C:\Revit Local Files\BCH Portarlington\G20002 BCH Portarlington CC\_RICHIE.rvt

0 500 1000 1500 2000 2500mm  
SCALE 1:50 AT ORIGINAL SIZE

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DRAWING TITLE  
SECTIONS

NORTH

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PROJECT  
39 FENWICK STREET  
PORTARLINGTON

CLIENT  
BCH PORTARLINGTON REDEVELOPMENT 2

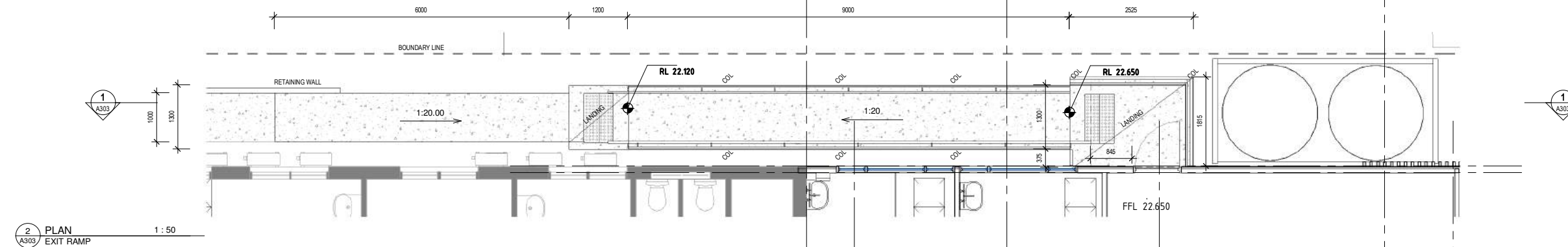
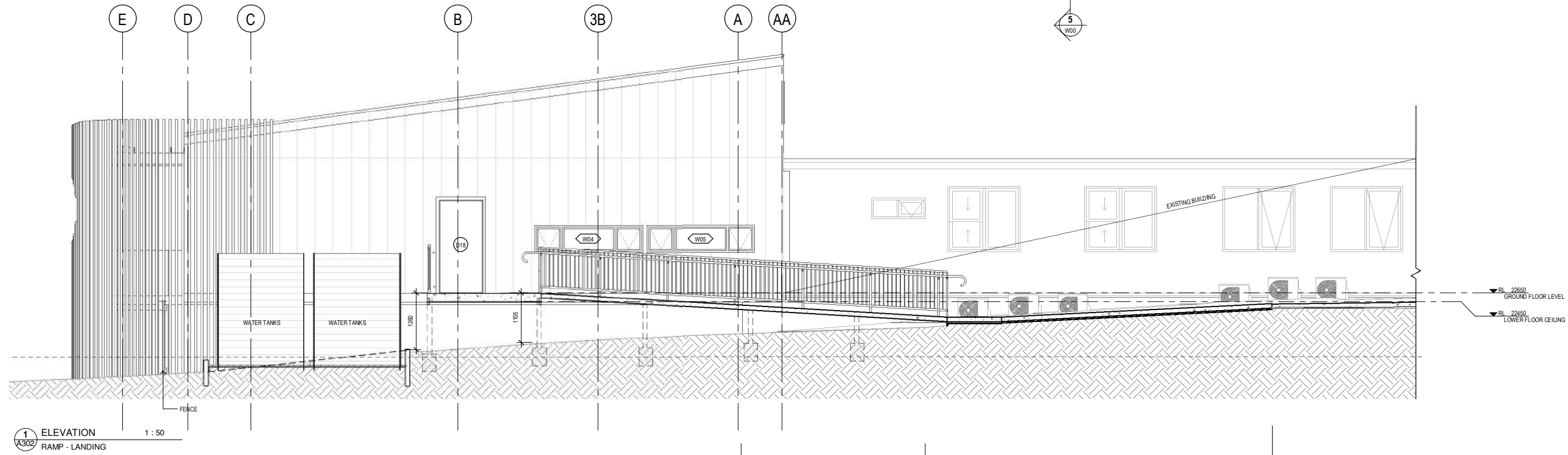
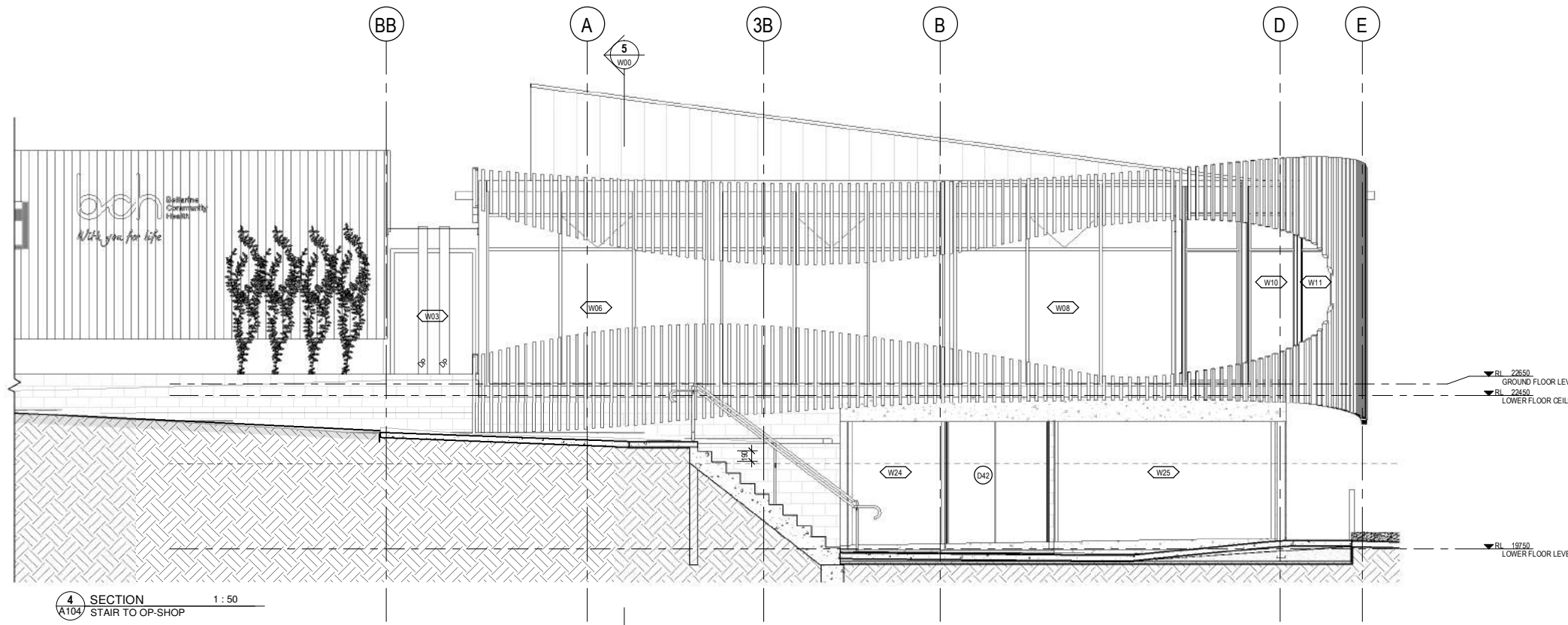
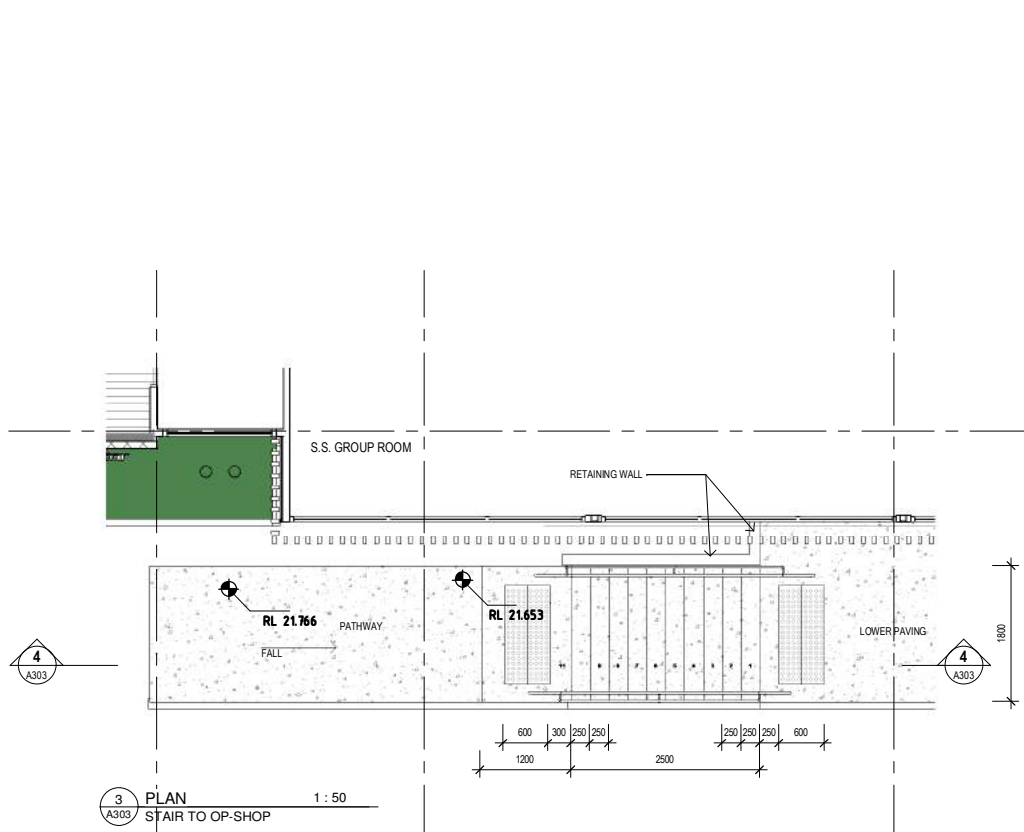
DATE: 08.10.2020  
DRAWN: BT  
CHECKED: RCS  
JOB NO: G20002  
SCALE: As indicated @ A1

DRAWING NO:  
**A301**

REVISION



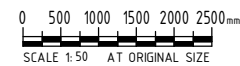




PRELIM TENDER

ISSUE	DESCRIPTION	DATE

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NORTH

DRAWING TITLE  
SECTION RAMP

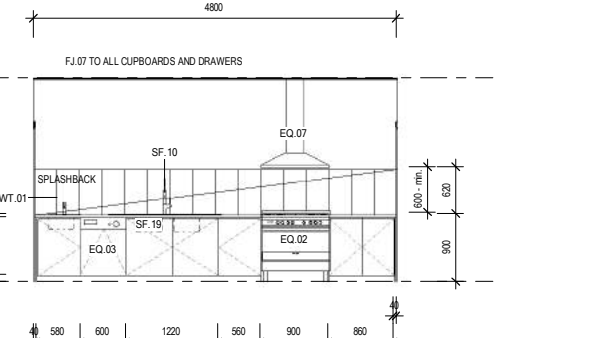
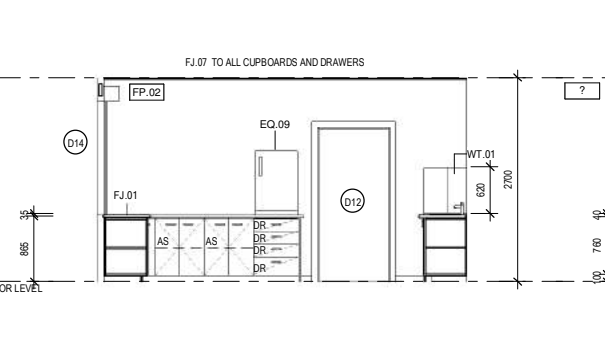
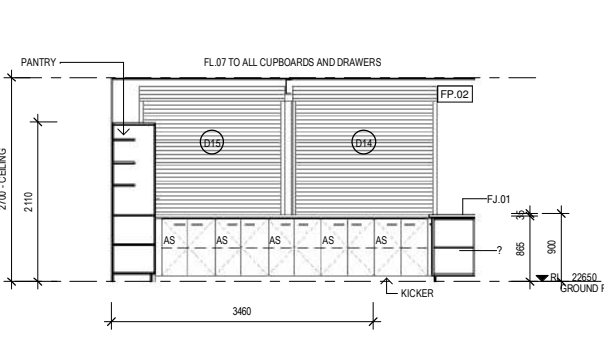
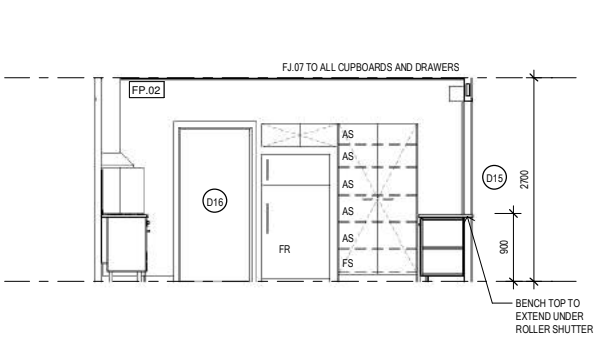
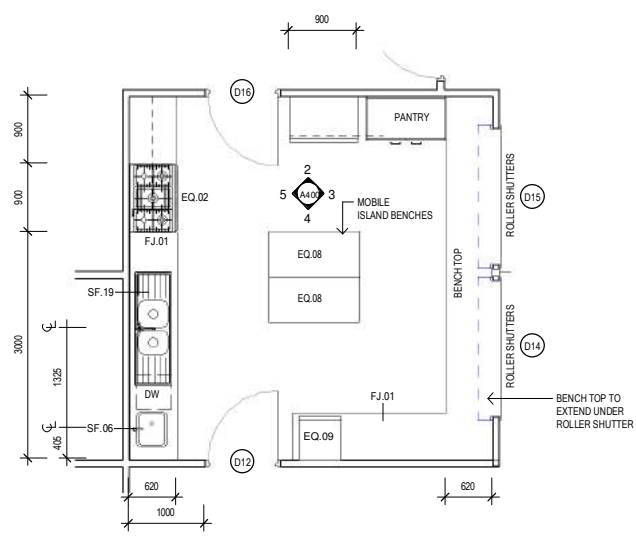
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PROJECT  
39 FENWICK STREET  
PORTARLINGTON

CLIENT  
BCH PORTARLINGTON REDEVELOPMENT 2

DATE: 08.10.2020  
DRAWN: BT  
CHECKED: RCS  
JOB NO: G20002  
SCALE: 1:50 @ A1

DRAWING NO:  
A303  
REVISION



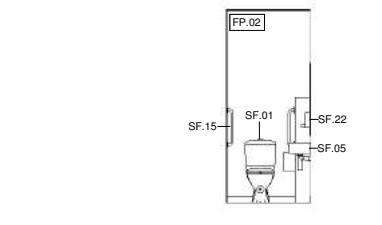
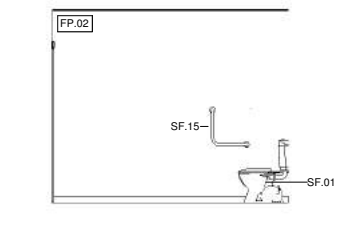
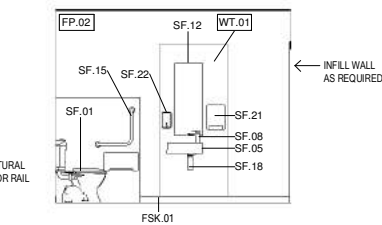
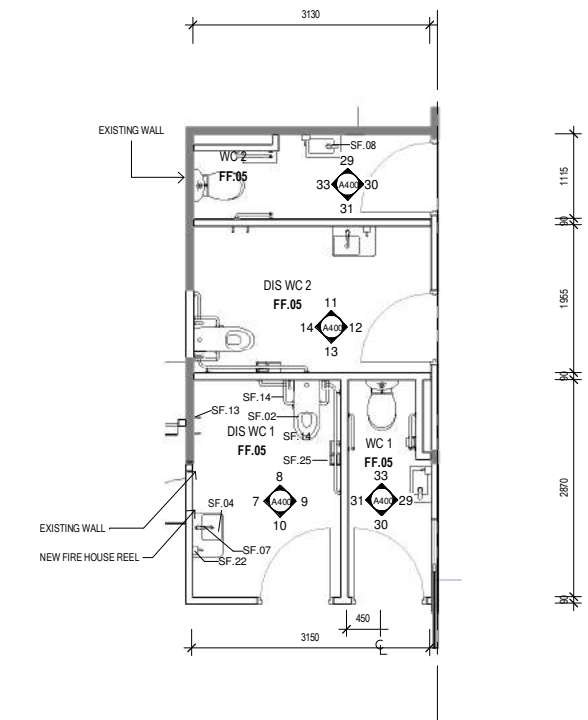
1 PLAN KITCHEN PAYOUT 1:50

2 INTERNAL ELEVATION KITCHEN 1 1:50

3 INTERNAL ELEVATION KITCHEN 2 1:50

4 INTERNAL ELEVATION KITCHEN 3 1:50

5 INTERNAL ELEVATION KITCHEN 4 1:50

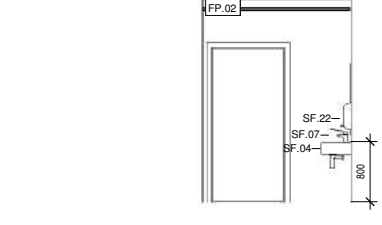
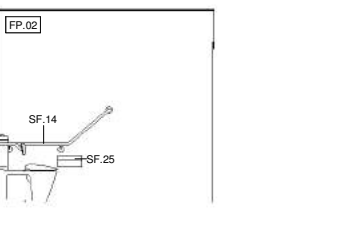
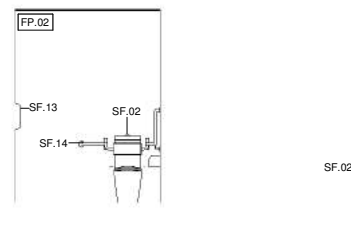
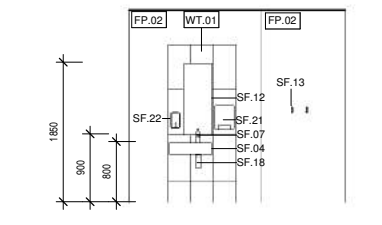


29 INTERNAL ELEVATION AMB WC - A 1:50

30 INTERNAL ELEVATION AMB WC - B 1:50

31 INTERNAL ELEVATION AMB WC - C 1:50

33 INTERNAL ELEVATION AMB WC - D 1:50

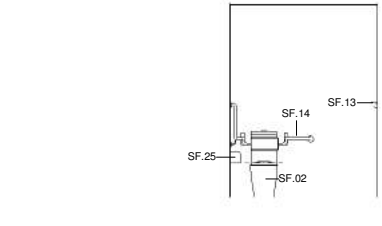
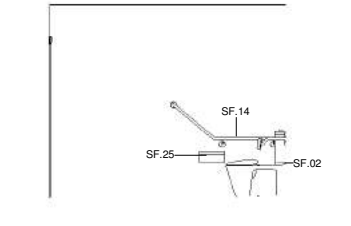
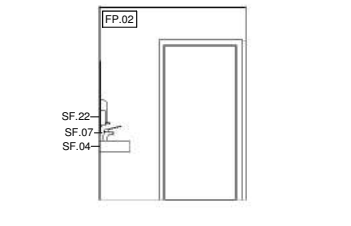
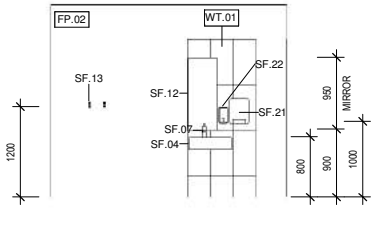


7 INTERNAL ELEVATION DIS WC 1 - 7 1:50

8 INTERNAL ELEVATION DIS WC 1 - 8 1:50

9 INTERNAL ELEVATION DIS WC 1 - 9 1:50

10 INTERNAL ELEVATION DIS WC 1 - 10 1:50

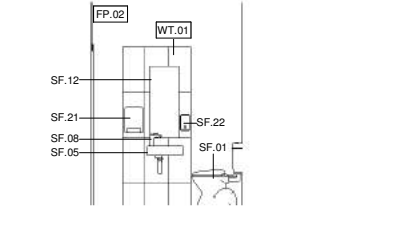
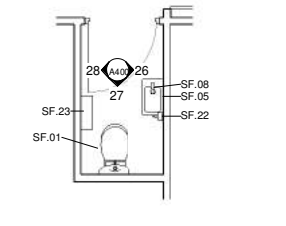


11 INTERNAL ELEVATION WC 1 & 2 - 11 1:50

12 INTERNAL ELEVATION WC 1 & 2 - 12 1:50

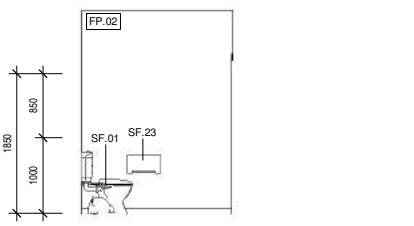
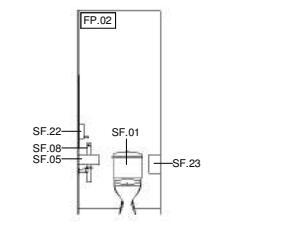
13 INTERNAL ELEVATION WC 1 & 2 - 13 1:50

14 INTERNAL ELEVATION WC 1 & 2 - 14 1:50



25 PLAN WC 3 1:50

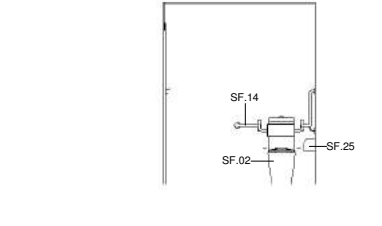
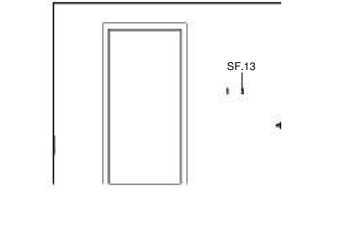
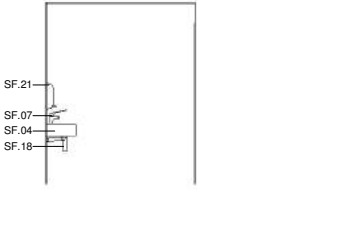
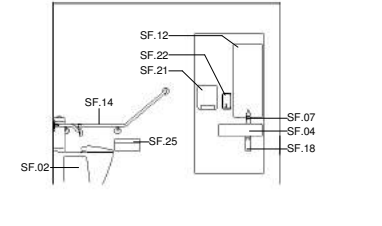
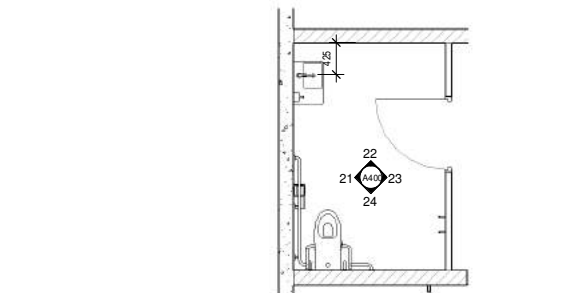
26 INTERNAL ELEVATION WC 3 A 1:50



27 INTERNAL ELEVATION WC 3 B 1:50

28 INTERNAL ELEVATION WC 3 C 1:50

6 PLAN DIS. & WC 1 & 2 1:50



21 INTERNAL ELEVATION OP-SHOP DIS a 1:50

22 INTERNAL ELEVATION OP-SHOP DIS b 1:50

23 INTERNAL ELEVATION OP-SHOP DIS c 1:50

24 INTERNAL ELEVATION OP-SHOP DIS d 1:50

20 PLAN OP-SHOP DIS. WC 1:50

ISSUE	DESCRIPTION	DATE

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DRAWING TITLE  
 INTERNAL ELEVATIONS

PROJECT  
 39 FENWICK STREET  
 PORTARLINGTON

CLIENT  
 BCH PORTARLINGTON REDEVELOPMENT 2

DATE: 08.10.2020  
 DRAWN: BT  
 CHECKED: RCS  
 JOB NO: G20002  
 SCALE: 1:50 @ A1

DRAWING NO:  
**A400**

REVISION

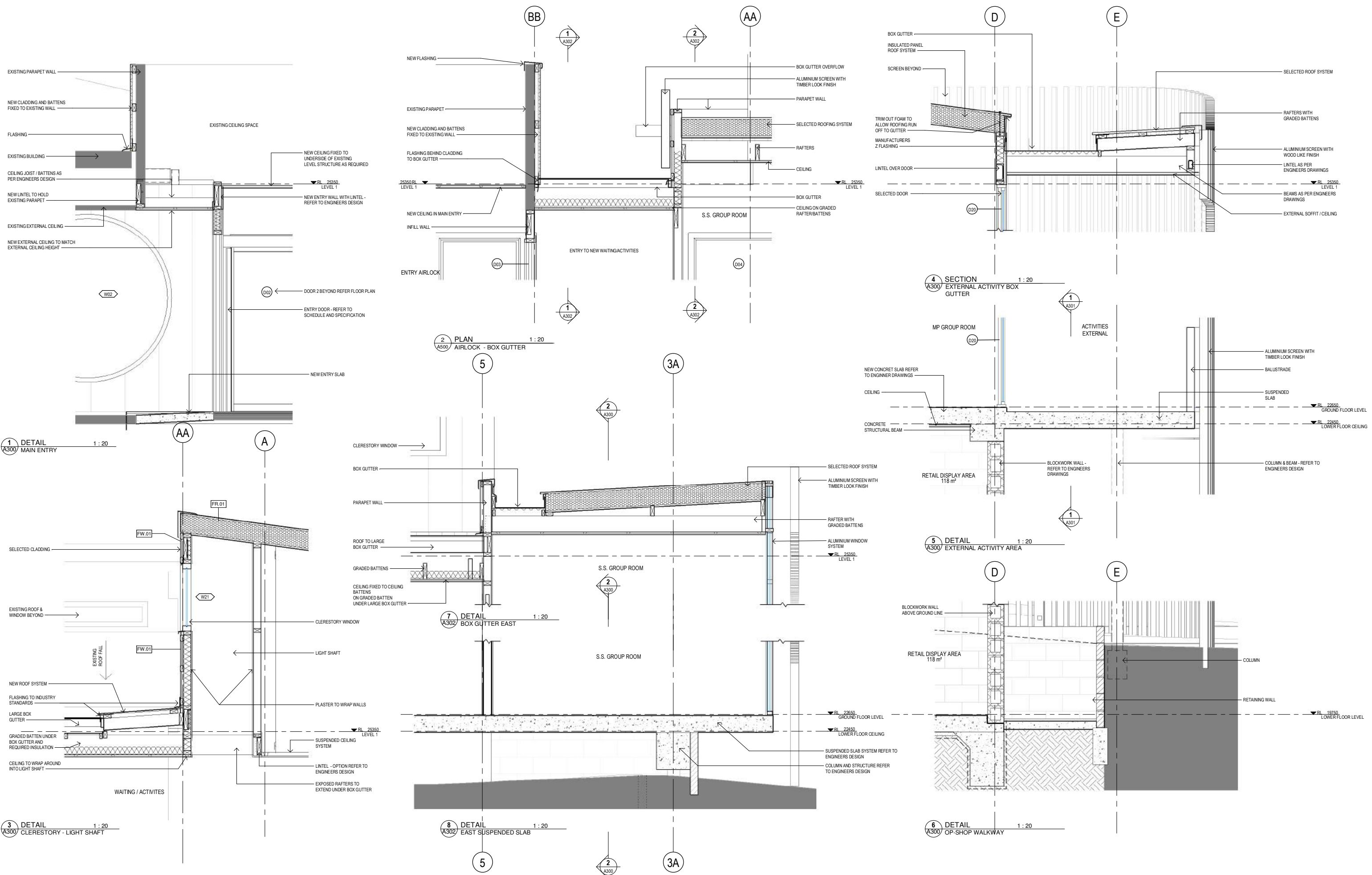
PRELIM TENDER

NORTH

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ISSUE	DESCRIPTION	DATE

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DRAWING TITLE  
**CONSTRUCTION DETAILS**  
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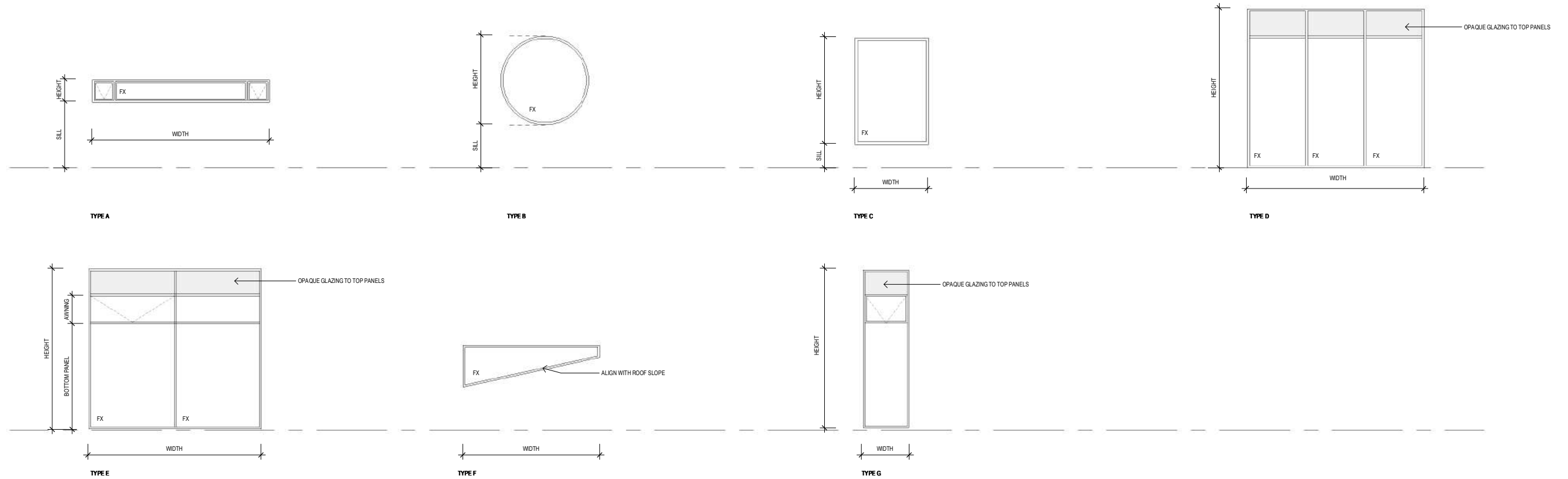
PROJECT  
 39 FENWICK STREET  
 PORTARLINGTON  
 CLIENT  
 BCH PORTARLINGTON REDEVELOPMENT 2

DATE: 08.10.2020  
 DRAWN: BT  
 CHECKED: RCS  
 JOB NO: G20002  
 SCALE: 1:20 @ A1  
 DRAWING NO:  
**A500**  
 REVISION





WINDOW TYPE LEGEND



WINDOW SCHEDULE										
NUMBER	TYPE	ROOM NAME	HEIGHT	WIDTH	GLAZING TYPE	SILL HEIGHT	FRAME MATERIAL	INSECT SCREEN	COMMENTS	
01	A	EX. PHYSICAL REHAB ROOM	500	4000	DOUBLE	1520	ALUMINIUM	Yes		
02	B	GEN PRACTICE WAITING ROOM	2000	2000	DOUBLE	350	ALUMINIUM			
03	C	WAITING/ACTIVITIES	2400	1500	DOUBLE	0	ALUMINIUM			
04	A	GP 3	600	2400	DOUBLE	900	ALUMINIUM	Yes		
05	A	GP 2	600	2400	DOUBLE	900	ALUMINIUM	Yes		
06	D	S.S. GROUP ROOM	3600	3900	DOUBLE	0	ALUMINIUM			
07	D	S.S. GROUP ROOM	3600	3900	DOUBLE	0	ALUMINIUM			
08	D	S.S. GROUP ROOM	3600	3900	DOUBLE	0	ALUMINIUM			
09			3600	1075		0				
10	G	S.S. GROUP ROOM	3600	1075	DOUBLE	0	ALUMINIUM			
11	G	S.S. GROUP ROOM	3600	1075	DOUBLE	0	ALUMINIUM			
12	G	S.S. GROUP ROOM	3600	1075	DOUBLE	0	ALUMINIUM			
14	E	S.S. GROUP ROOM	3600	2415	DOUBLE	0	ALUMINIUM			
15	E	S.S. GROUP ROOM	3600	2415	DOUBLE	0	ALUMINIUM			
16	C	S.S MEETING	1000	1500	DOUBLE	1100	ALUMINIUM			
17	C	S.S MEETING	1000	800	DOUBLE	1100	ALUMINIUM			
18	C	CONSULT 3	1000	800	DOUBLE	1100	ALUMINIUM			
19	C	MANAGER OFFICE	1000	900	DOUBLE	1100	ALUMINIUM			
20	C	WAITING/ACTIVITIES	800	3600	DOUBLE	3900	ALUMINIUM			
21	C	WAITING/ACTIVITIES	800	3600	DOUBLE	3900	ALUMINIUM			
22	C	CONSULT 1	800	2700	DOUBLE	3900	ALUMINIUM			
23	F	GP 2	900	1000	DOUBLE	1960	ALUMINIUM		ALIGN WITH WINDOWS 29/30/31	
24	C	RETAIL DISPLAY AREA	2700	1700	DOUBLE	0	ALUMINIUM			
25	C	RETAIL DISPLAY AREA	2700	3900	DOUBLE	0	ALUMINIUM			
26	C	RETAIL DISPLAY AREA	2500	4800	DOUBLE	0	ALUMINIUM			
27	C	OP SHOP STAFF	900	2400	SINGLE	1230	ALUMINIUM			
28	C	CORRIDOR/MP	1500	1200	DOUBLE	2300	ALUMINIUM		HIGHLIGHT OVER DOOR 25	
29	C	CONSULT 1	1500	3560	DOUBLE	2900	ALUMINIUM		HIGHLIGHT OVER OPERABLE DOOR	

PRELIM TENDER

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